

CITY OF RENO

Planning Commission

May 2, 2012
Staff Report

Agenda #

VI-4

Ward #

1

CASE No.: LDC12-00039 (Franktown Corners Childcare and Playground)

APPLICANT: Cheryl E. Moreland

APN NUMBER: 015-281-04 & 015-321-01

REQUEST: This is a request for a special use permit to: a) allow a $\pm 6,724$ square foot outdoor playground associated with a childcare facility to be located adjacent to residentially zoned property; and b) allow the childcare facility to operate between the hours of 11:00 p.m. and 6:00 a.m. (24 hours).

LOCATION: The childcare facility and playground are located on the north portion of two separate parcels containing $\pm 11,000$ square feet and are located on the northwest corner of the Kietzke Lane/East Grove Street intersection (2305 Kietzke Lane and 507 E. Grove St.) in the AC (Arterial Commercial) and CC (Community Commercial) zones. The site has Master Plan land use designations of Urban Residential/Commercial and Mixed Residential.

PROPOSED MOTION: Based upon compliance with the applicable findings, I move to approve the special use permit, subject to conditions.

RECOMMENDED CONDITIONS OF APPROVAL:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

1. The project shall comply with all applicable City codes, plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports, materials and City codes, City codes in effect at the time the application is submitted, shall prevail.
2. The applicant shall apply for all building permits and obtain a business license for the project within 18 months from the date of final approval, and continuously maintain the validity of those permits, or this approval shall be null and void.

3. Prior to issuance of any building permit, the applicant shall attach a copy of the final approval letter recorded by the Washoe County Recorder's Office.
4. The applicant, developer, builder, property or business owner, as applicable, shall continuously maintain a copy of this approval letter on the project site during the construction and operation of the project/business. The project approval letter shall be posted or readily available upon demand by City staff.
5. Prior to issuance of a business license to operate the child care facility, the applicant shall have plans approved and shall install a six foot tall masonry block wall or equivalent located along the north and west sides of the outdoor play area and a six foot tall solid view screening wood fence along the east and south sides of the outdoor play area.
6. Prior to issuance of a business license to operate the child care facility, the applicant shall have landscaping and irrigation plans approved and shall install five, minimum 10 foot tall evergreen trees spaced 15 feet on center along the west side block wall and four, minimum 6 foot tall evergreen trees spaced 15 feet on center along the north side block wall.
7. Prior to issuance of a business license to operate the child care facility, the applicant shall have plans approved and shall install video surveillance cameras throughout the facility where children will be present and outdoor security lighting. All security cameras, outdoor lighting and perimeter fencing shall be continuously monitored and maintained to ensure proper operating conditions at all times throughout the lifetime of this facility.
8. Prior to approval of any permit, the applicant shall demonstrate all necessary on-site and off-site easements are complete or in place. All off-site improvements and construction activities proposed within adjacent parcels shall reside within appropriate easements.

BACKGROUND: The proposed child care center will be licensed for up to 160 children and operated from an existing building located on the northeast corner of the Franktown Corners commercial center. The proposed outdoor playground will be located on the north end of the vacant parcel located adjacent to the west side of Franktown Corners. An existing ± 12 foot wide corridor located along the north side of Franktown Corners will be used to provide pedestrian access between the facility building and the playground. This corridor is ± 280 feet long, lighted and entirely fenced to provide secure access for the children and staff between the building and playground. The outdoor play area is proposed to be $\pm 6,725$ square feet in size and will be enclosed by a six foot tall block wall (along the north and west sides) and a solid six foot tall wood fence or equivalent along the south and east sides.

ANALYSIS:

Land Use Compatibility: Land use surrounding the site consists of condominiums and apartments to the north and west, mixed commercial uses to the south and auto dealerships to the east across Kietzke Lane. A 24 hour child care center in this location is consistent and compatible with the intensity and density of surrounding uses because all of the nighttime activities are contained within the building. All access, parking and child loading/unloading activities are located on the south side of the building which will block the noise generated by these activities from the adjacent residential uses to the north. In accordance with code [RMC 18.08.202 (b)(6)] the outdoor play area can only operate during the daylight hours. The applicant will install the code required six foot tall block wall and landscaping including 6-10 foot tall evergreen trees spaced 15 feet on center to provide visual and sound buffers between the play area and the condominiums and apartments to the north and west. Since the facility will be within a one story building with the outdoor play appropriately screened and buffered there should be no window placement/privacy issues associated with this request. (SUP findings a, e, f & h).

Urban/Environmental Design: The child care portion of this project is located within an existing building and that portion of the site contains all required parking and landscaping. The only improvements associated with this project are related to constructing the 6,725 square foot outdoor play area on the vacant parcel to the west. As proposed these improvements meet code (6 foot tall perimeter block walls/fencing) or exceed code (five, minimum 10 foot tall evergreen trees spaced 15 feet on center adjacent to the west block wall and four, minimum 6 foot tall evergreen trees space 15 feet on center adjacent to the north block wall) buffering requirements (Condition Nos. 5 & 6). The perimeter block walls and associated landscape screening is required by code to be installed prior to commencing the outdoor playground operations. The playground equipment will be required to meet Washoe County Social Services specifications. The playground will contain features such as a tricycle track, swings and slides, a shade structure and planters.

The project will utilize the existing wall and freestanding sign spaces allotted by the commercial center for this portion of the building, with no signs proposed in or around the outdoor play area (SUP finding g).

The applicant will install outdoor lighting in the play area including cameras equipped with motion sensor activated lighting to secure the play area at night while minimizing lighting impacts on the condominiums and apartments to the north and west. Code requires all outdoor lighting installed adjacent to residential uses to utilize sharp cut off fixtures to shield light bulbs and direct light downward. This can be addressed during review of any outdoor lighting permits.

According to the applicant, the existing unscreened dumpsters located near the northeast corner of the outdoor play area will be enclosed by the owners of the Franktown Corners shopping center.

Public Safety: Fire staff had no comments except that the facility will require installation of a fire sprinkler system and fire alarm prior to operating the facility. Police comments were related to: providing security lighting for all outdoor areas, video surveillance cameras throughout the project, maintaining a current contact list of all children; limiting public access to the facility to a single point; and continuous monitoring and maintenance by project management of all security, lighting and fence enclosures. These concerns are addressed by the applicants intent to install/maintain outdoor lighting and video surveillance security cameras; the provision of a single point of public access via the building housing the child care facility; Nevada Division of Child and Family Services requirements to maintain a current list of all children and facility caretakers including their contact information; and a commitment by the project operators to provide continuous monitoring and maintenance of the security lighting, surveillance cameras and perimeter fences required around the outdoor play area to ensure they are functioning properly at all times (Condition No. 7).

Public Improvements: The project is located in an existing commercial center with all necessary public services, infrastructure and improvements in place (SUP finding c). The applicant should be required to demonstrate that all necessary on and off-site easements are complete or in place; and that all off-site improvements and construction activities are located within appropriate easements (Condition No. 8).

Access, Circulation and Parking: Access to the site is provided from existing driveways onto Kietzke Lane and East Grove Street. The existing internal circulation system for the commercial center is adequate for the proposed use. Information provided by the applicant indicates that 18 parking spaces are available for this project which meets the code requirement for this use (1 space/9 children served). Existing sidewalks for pedestrian access are located adjacent to the site on both Kietzke Lane and East Grove Street. This project is served by an existing RTC bus stop located adjacent to the site on East Grove Street (SUP finding d).

Master Plan: The project is consistent with the Urban Residential/Commercial and Mixed Residential Master Plan land use designations on the site. As proposed and with recommended conditions, the project is consistent with the following applicable Master Plan policies: P-1 site access should be safe, convenient and logical while minimizing impacts onto adjoining streets; HS-9 the City should emphasize programs which are responsive to the needs of seniors, families and children; CD-1 encourage new development with intense activities to locate in existing centers areas well served by public transit; CD-6 hours of operation and general activity level should be sensitive to surrounding land uses, particularly residential uses. Businesses with 24 hour operations are generally discouraged adjacent to residential uses with the exception of uses with limited activity; CD-15 encourage the clustering of services in locations convenient to

neighboring residential areas in order to reduce vehicle trips; SD-3 signs should be designed as an element of the building advertised and be of appropriate scale to the building and the surrounding neighborhood; and SD-8 reduce noise impacts in existing development through building placement, landscaping and the judicious use of walls (SUP finding b).

General Code Compliance: As proposed the project meets or exceeds code with regard to parking, screening and landscaping.

Other Reviewing Bodies: The applicant will be required to address applicable Washoe County District Health Department regulations related to private catch basin design and drainage from irrigated landscaping.

Neighborhood Advisory Board: This project was not reviewed by the Central Neighborhood Advisory Board.

AREA DESCRIPTION			
	LAND USE	MASTER PLAN DESIGNATION	ZONING
NORTH	Apartments	Urban Residential/Commercial	MF30
SOUTH	Mixed Commercial	Urban Residential/Commercial	MF30, CC, AC
EAST	Auto Dealerships	Urban Residential Commercial	AC
WEST	Apartments	Mixed Residential	MF30

LEGAL REQUIREMENTS:

RMC 18.06.405(e)(1) Special Use Permit

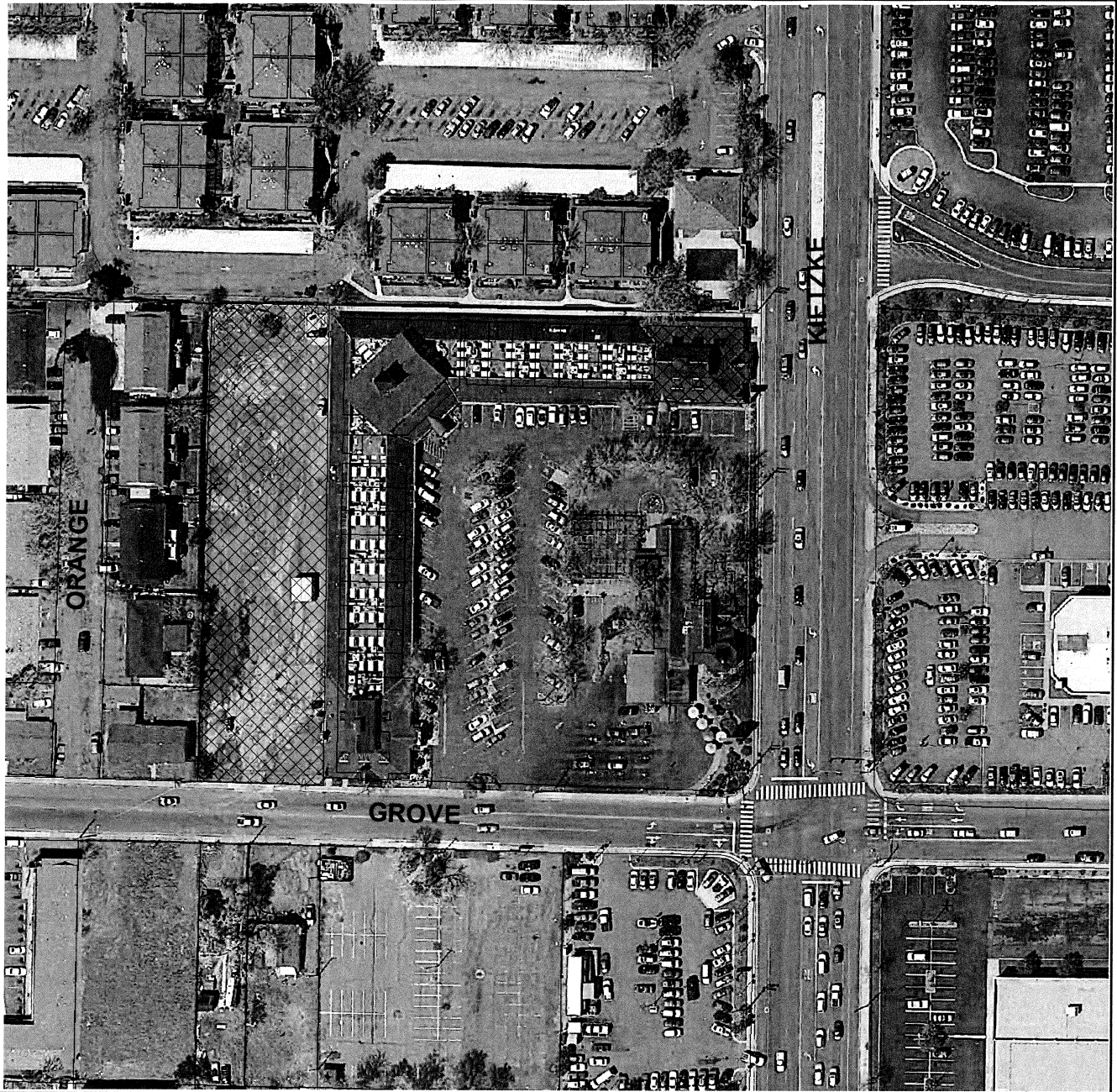
FINDINGS:

Special Use Permit: General special use permit findings. Except where specifically noted, all special use permit applications shall require that all of the following general findings be met, as applicable.

- a. The proposed use is compatible with existing surrounding land uses and development.
- b. The project is in substantial conformance with the master plan.
- c. There are or will be adequate services and infrastructure to support the proposed development.

- d. The proposal adequately mitigates traffic impacts of the project and provides a safe pedestrian environment.
- e. The proposed site location and scale, intensity, density, height, layout, setbacks, and architectural and overall design of the development and the uses proposed, is appropriate to the area in which it is located.
- f. The project does not create adverse environmental impacts such as smoke, noise, glare, dust, vibrations, fumes, pollution or odor which would be detrimental to, or constitute a nuisance to area properties.
- g. Project signage is in character with project architecture and is compatible with or complementary to surrounding uses.
- h. The structure has been designed such that the window placement and height do not adversely affect the privacy of existing residential uses.

Staff: Vern Kloos, AICP, Senior Planner



LDC12-00039 (Franktown Corners Childcare and Playground)



Subject Site

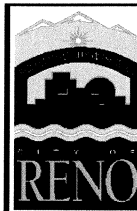


0 20 40 80 120 160 Feet

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For additional information, please contact the City of Reno Community Development Department

Map Produced: April, 2012



Community Development
Department

450 Sinclair Street Phone: 334-2063
P.O. Box 1900 Fax: 334-2043
Reno, NV 89505 www.cityofreno.com



LDC12-00039 **(Franktown Corners Childcare** **and Playground)**

 **Subject Site**



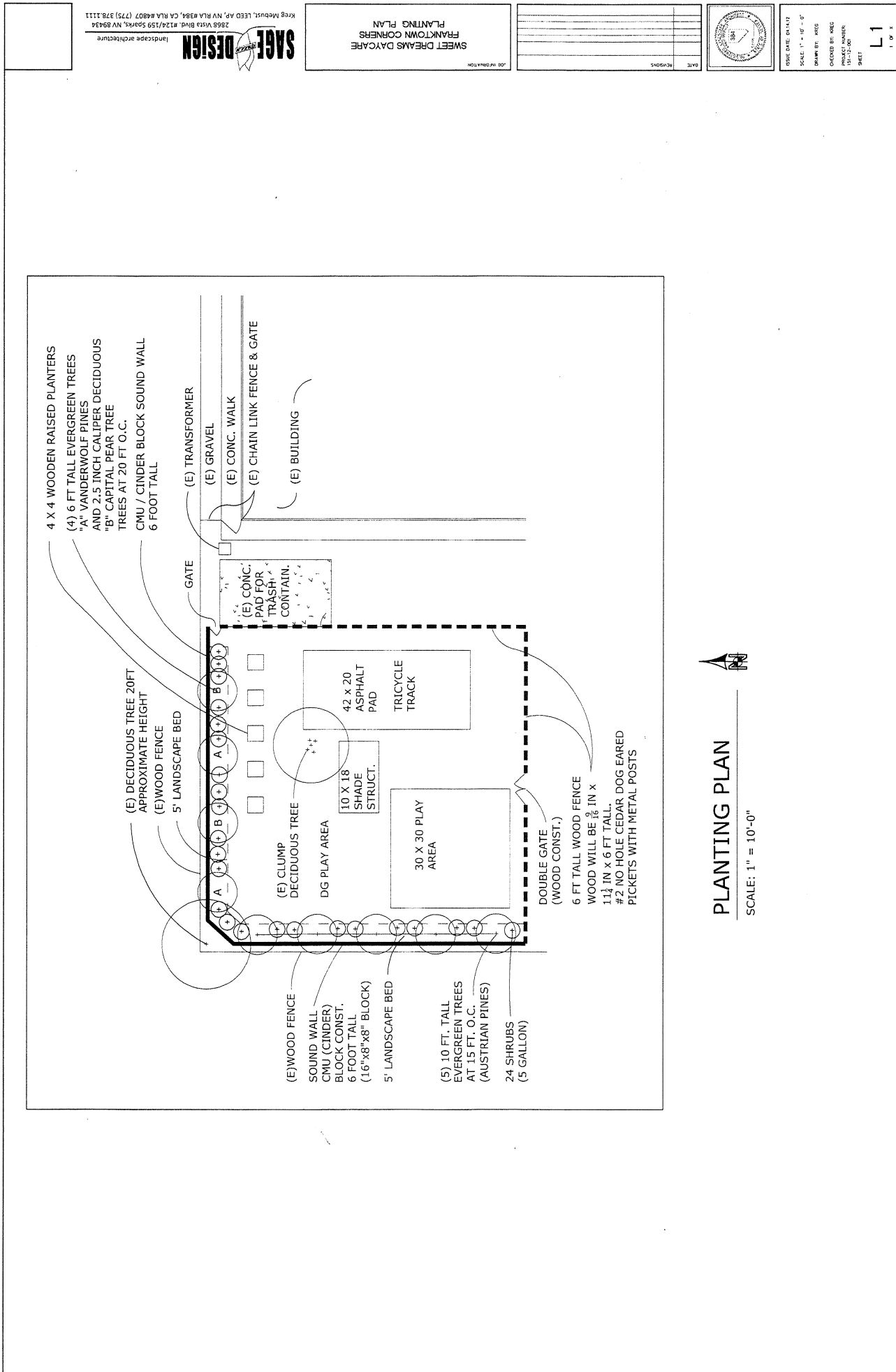
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P.O. Box 1900 Fax: 334-2043
Reno, NV 89505 www.cityofreno.com



4 X 4 WOODEN RAISED PLANTERS
(4) 6 FT TALL EVERGREEN TREES
"A" VANDERWOLF PINES
AND 2.5 INCH CALIPER DECIDUOUS
"B" CAPITAL PEAR TREE
TREES AT 20 FT O.C.
CMU / CINDER BLOCK SOUND WALL
6 FOOT TALL

(E) DECIDUOUS TREE 20FT
APPROXIMATE HEIGHT
(E) WOOD FENCE
5' LANDSCAPE BED

(E) WOOD FENCE
SOUND WALL
CMU (CINDER)
BLOCK CONST.
6 FOOT TALL
(16"x8"x8" BLOCK)

(5) 10 FT. TALL
EVERGREEN TREES
AT 15 FT. O.C.
(AUSTRIAN PINES)
24 SHRUBS
(5 GALLON)

(E) CLUMP
DECIDUOUS TREE
DG PLAY AREA

10 X 18
SHADE
STRUCT.

30 X 30 PLAY
AREA

42 X 20
ASPHALT
PAD

TRICYCLE
TRACK

(E) CONC.
PAD FOR
TRASH
CONTAIN.

(E) TRANSFORMER
(E) GRAVEL
(E) CONC. WALK
(E) CHAIN LINK FENCE & GATE
(E) BUILDING

DOUBLE GATE
(WOOD CONST.)
6 FT TALL WOOD FENCE
WOOD WILL BE 2 1/8 IN X
1 1/4 IN X 6 FT TALL.
#2 NO HOLE CEDAR DO EARED
PICKETS WITH METAL POSTS

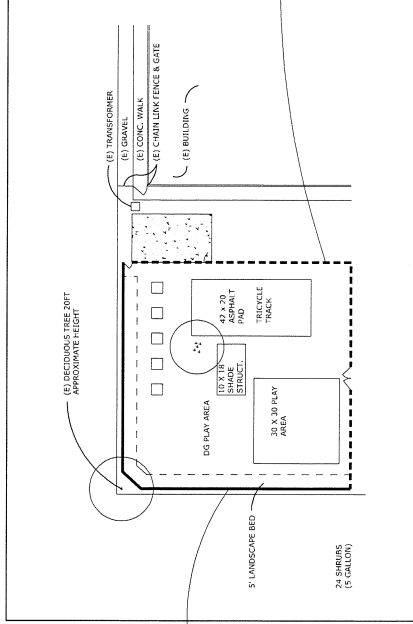


PLANTING PLAN

SCALE: 1" = 10'-0"

CMU BLOCK WALL

CONCEPTUAL, FINISH BY OWNER, REBAR BY OTHERS

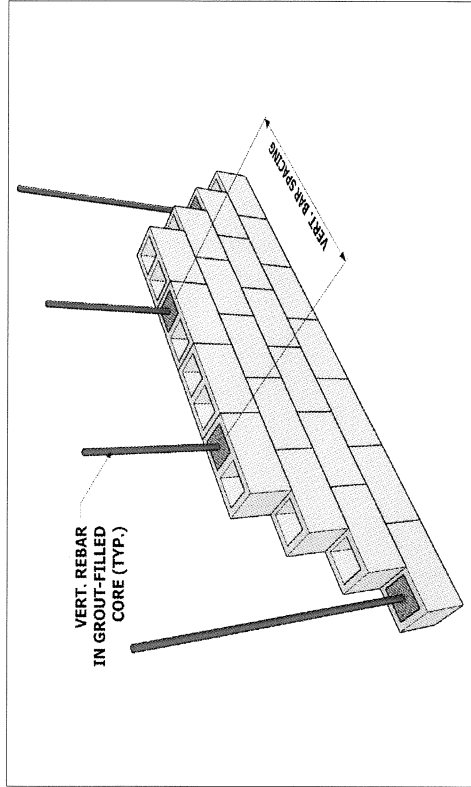


WOOD PRIVACY FENCE WITH METAL POST CONSTRUCTION

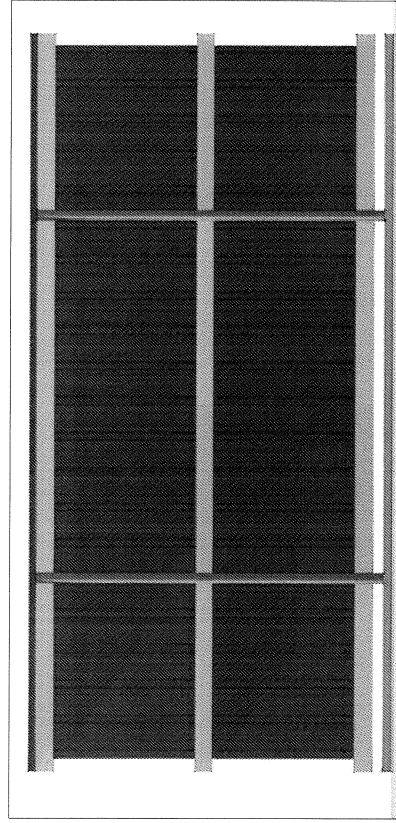


REFERENCE PLAN

SCALE: 1" = 20'-0"



CMU BLOCK WALL



WOOD PRIVACY FENCE WITH METAL POST CONSTRUCTION

DATE	REVISIONS

